

Site Plans and Presentations Pack



Planning Committee

Wed 18 Jan
2023
7.00 pm

Council Chamber
Town Hall
Redditch



www.redditchbc.gov.uk

If you have any queries on this agenda please contact

**Gavin Day
Democratic Services Officer**

Town Hall, Walter Stranz Square, Redditch, B98 8AH

Tel: 01527 64252 (Ext 3304)

Email: gavin.day@bromsgroveandredditch.gov.uk



Planning

COMMITTEE

Wednesday, 18th January, 2023

7.00 pm

Council Chamber Town Hall

Agenda

Membership:

Cllrs:	Michael Chalk (Chair)	Brandon Clayton
	Timothy Pearman (Vice-Chair)	Alex Fogg
	Salman Akbar	Andrew Fry
	Imran Altaf	Bill Hartnett
	Tom Baker-Price	

- 5.** 22/01356/FUL - 21 Ansley Close, Redditch, Worcestershire, B98 0AX (Pages 1 - 8)
- 6.** 22/01358/FUL - 29 Ansley Close, Redditch, Worcestershire, B98 0AX (Pages 9 - 14)
- 7.** 22/01363/FUL - 20 Ansley Close, Redditch, Worcestershire, B98 0AX (Pages 15 - 22)
- 8.** 21/00249/FUL - Land North of Droitwich Road, Droitwich Road, Feckenham, Worcestershire (Pages 23 - 44)
- 9.** 22/01171/FUL - Greenlands Playing Fields Adj, South Redditch Sports And Social Club, Throckmorton Road, Redditch, Worcestershire, B98 7RS. (Pages 45 - 56)

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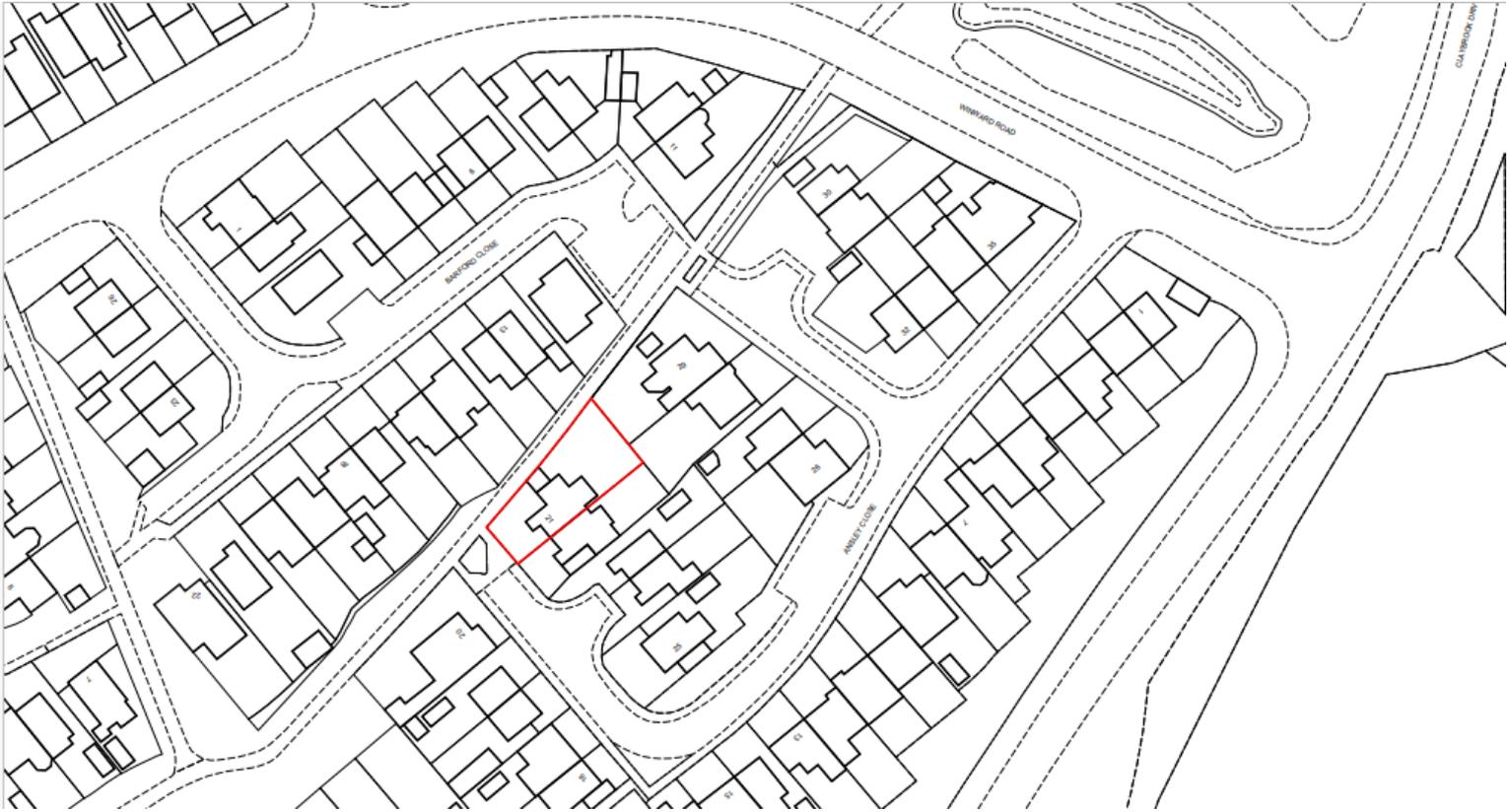
22/01356/FUL

21 Ansley Close, Matchborough East, Redditch B98 0AX

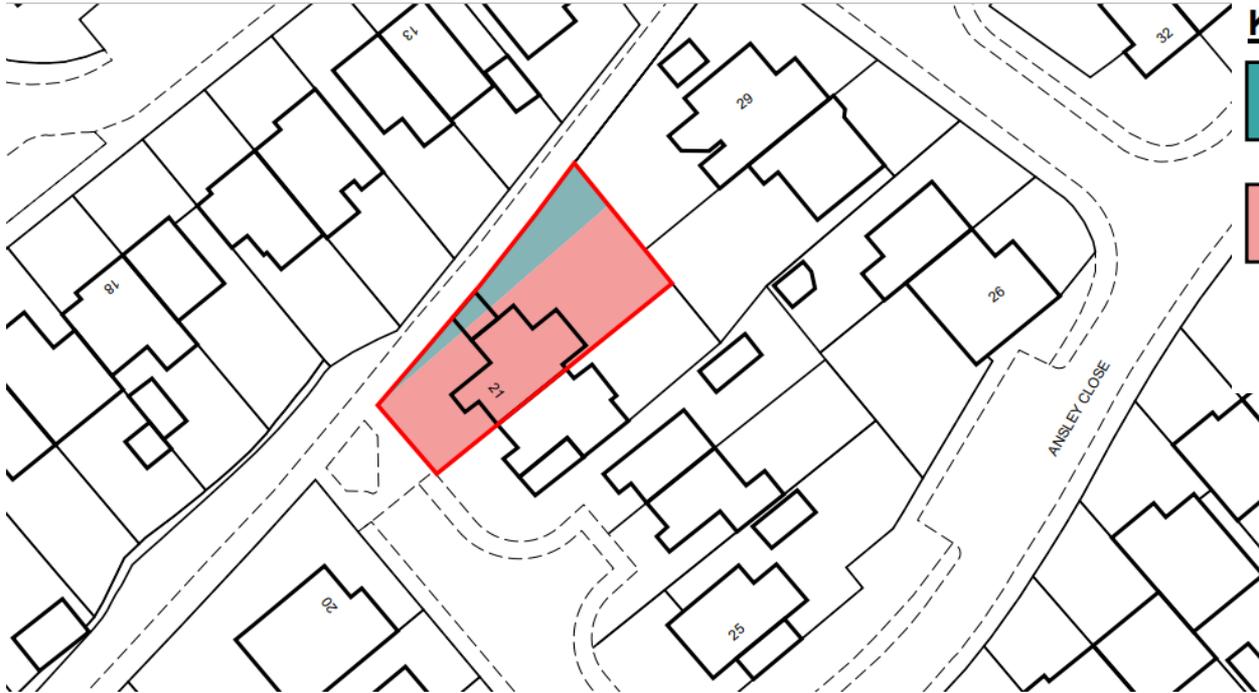
Change of use of highway land to private residential
garden

Recommendation: grant subject to conditions

Site Location



Layout Plan



Key



Extent of Highway verge for change of use to private garden, and then formally Stopped Up



Existing Title area for No. 21, as shown by Land Registry

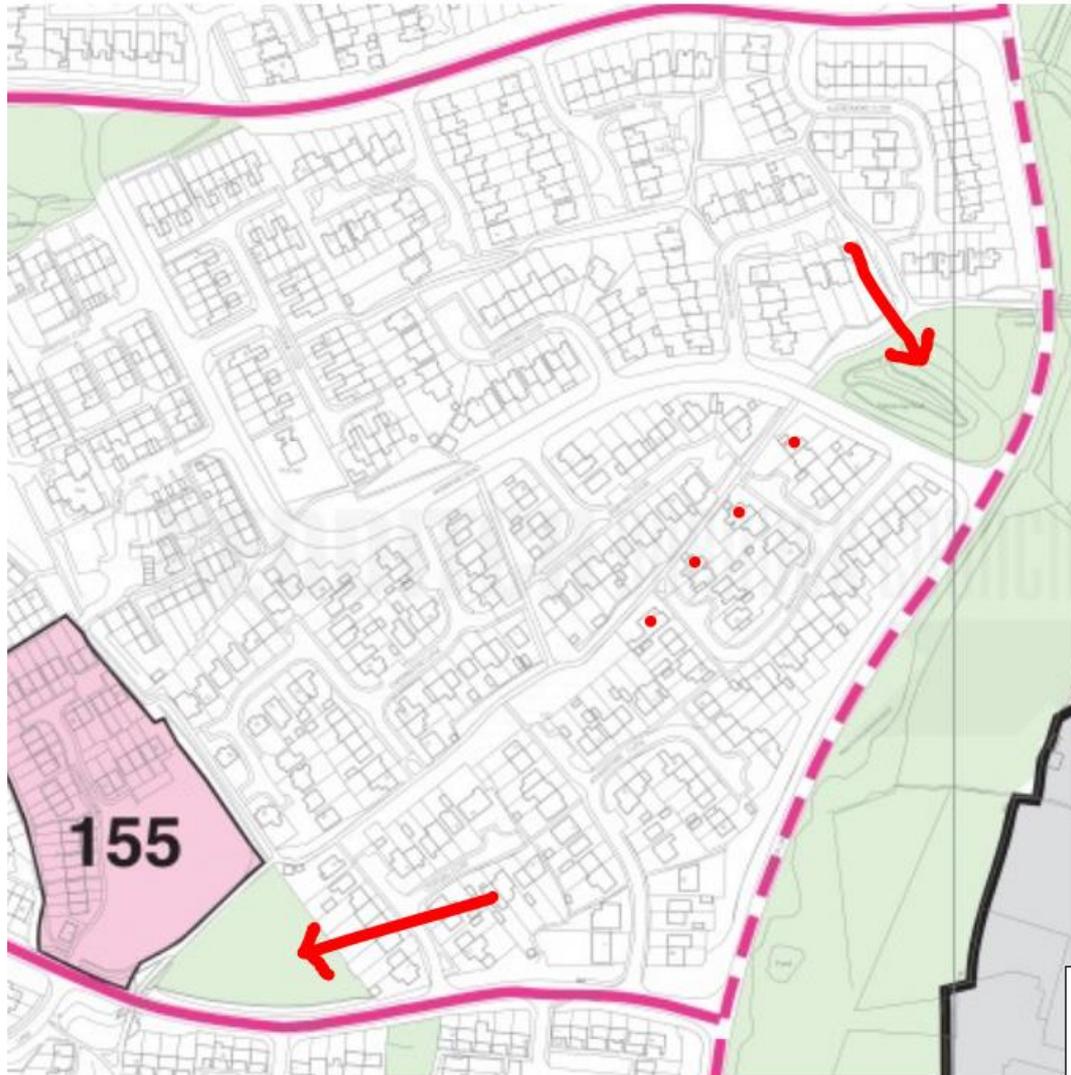
Recent images: from 21 looking North



Looking South. Fencing to No.21 marked with arrow



Extract from BOR Local Plan 4 Policies map



Primarily Open Space

Arrows indicate Primarily Open Space referred to within report

Red dots indicate numbers 20, 21, 29, 30 Ansley Close

Prior to retrospective works and as proposed



Original Layout Prior to Retrospective Works

Key

- Extent of existing adopted highway boundary (footpath and verge)
- Existing Title area for properties, as shown by Land Registry



Layout as Proposed under Planning Application

Key

- Revised extent of adopted highway boundary (footpath and verge) following Stopping Up Order
- Revised Title area for properties, following Stopping Up Order

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22/01358/FUL

29 Ansley Close, Matchborough East, Redditch B98 0AX

Change of use of highway land to private residential
garden

Recommendation: grant subject to conditions

Site Location



Layout Plan



Key



Extent of Highway verge for change of use to private garden, and then formally Stopped Up



Existing Title area for No.29, as shown by Land Registry

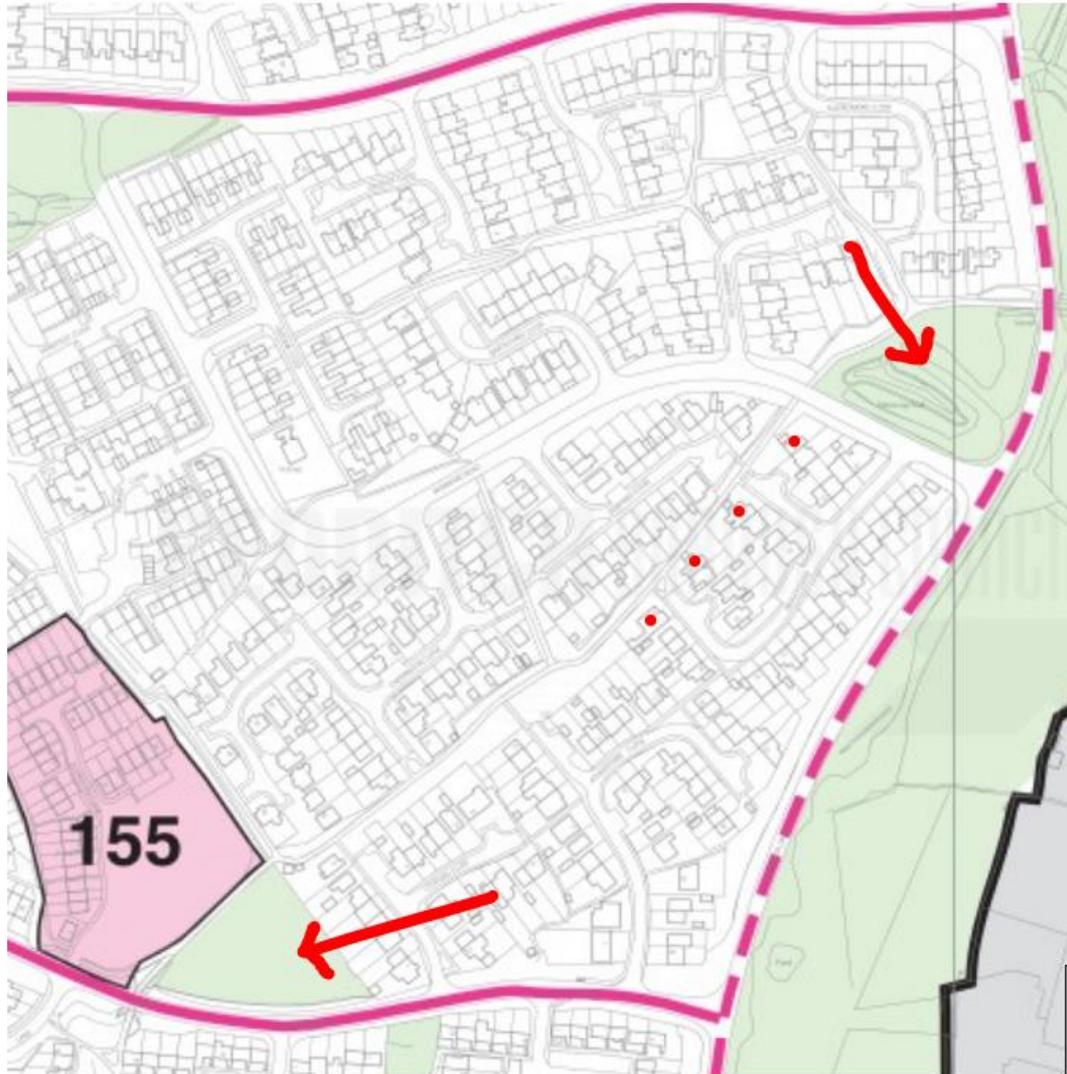
No.29 looking North



Looking South. Fence marked with arrow



Extract from BOR Local Plan 4 Policies map



Primarily Open Space

Arrows indicate Primarily Open Space referred to within report

Red dots indicate numbers 20, 21, 29, 30 Ansley Close

Prior to retrospective works and as proposed



Original Layout Prior to Retrospective Works

Key

- Extent of existing adopted highway boundary (footpath and verge)
- Existing Title area for properties, as shown by Land Registry



Layout as Proposed under Planning Application

Key

- Revised extent of adopted highway boundary (footpath and verge) following Stopping Up Order
- Revised Title area for properties, following Stopping Up Order

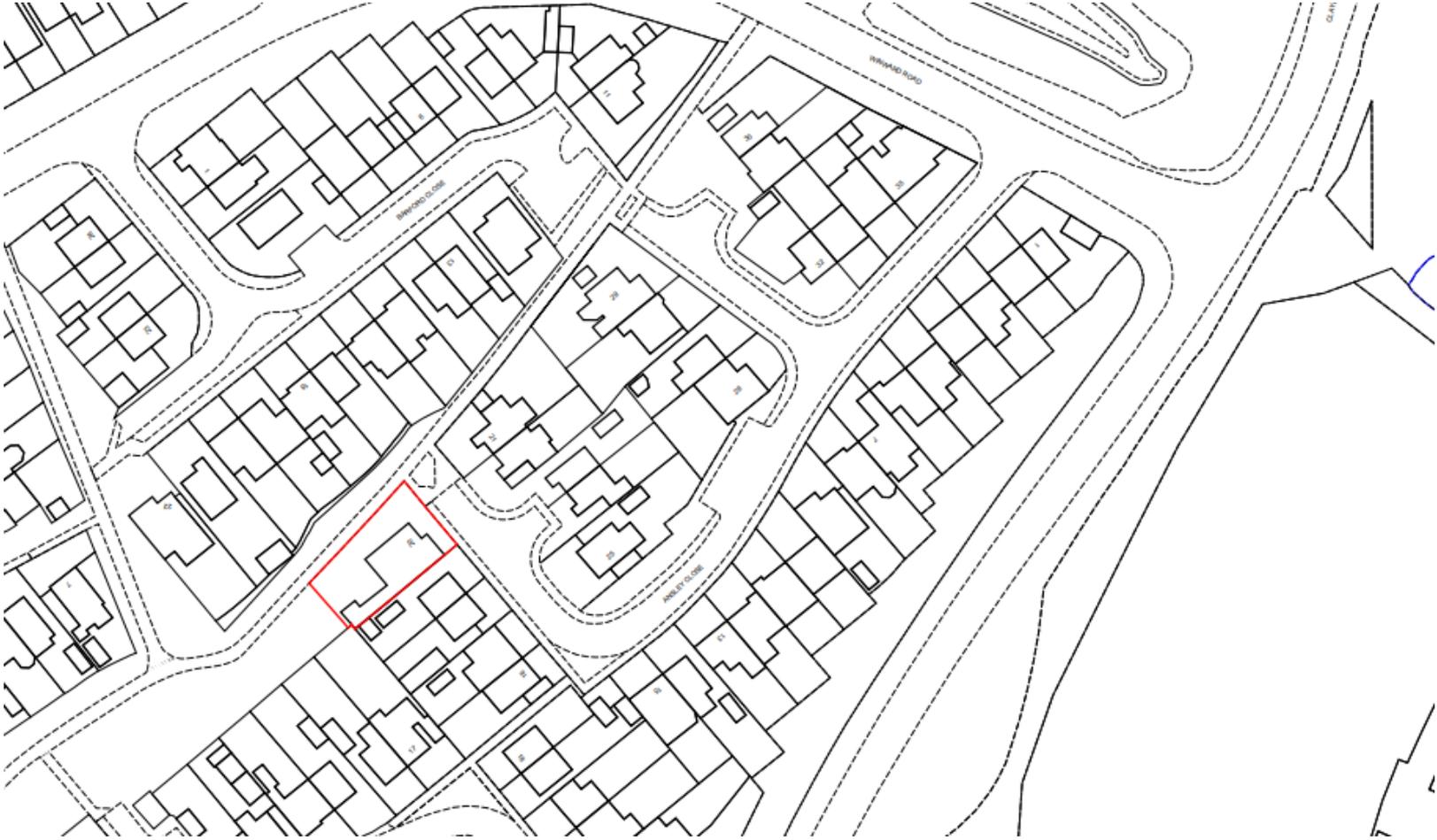
22/01363/FUL

20 Ansley Close, Matchborough East, Redditch B98 0AX

Change of use of highway land to private residential
garden

Recommendation: grant subject to conditions

Site Location



Layout Plan



Key



Extent of Highway verge for change of use to private garden, and then formally Stopped Up



Existing Title area for No.20, as shown by Land Registry

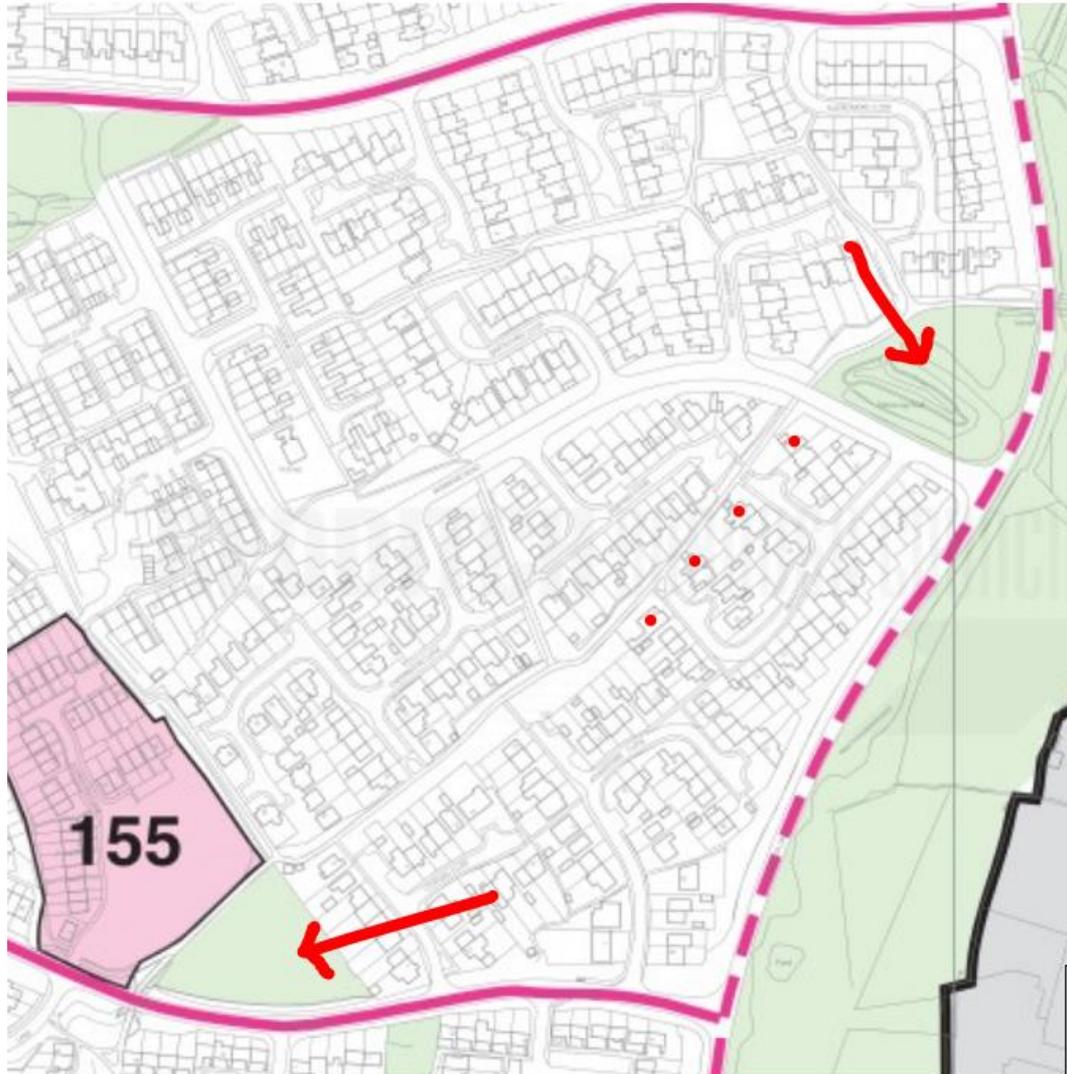
No.20 looking South. Fencing marked with arrow



Further images



Extract from BOR Local Plan 4 Policies map



Primarily Open Space

Arrows indicate Primarily Open Space referred to within report

Red dots indicate numbers 20, 21, 29, 30 Ansley Close

Prior to retrospective works and as proposed



Original Layout Prior to Retrospective Works

Key

- Extent of existing adopted highway boundary (footpath and verge)
- Existing Title area for properties, as shown by Land Registry



Layout as Proposed under Planning Application

Key

- Revised extent of adopted highway boundary (footpath and verge) following Stopping Up Order
- Revised Title area for properties, following Stopping Up Order

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21/00249/FUL

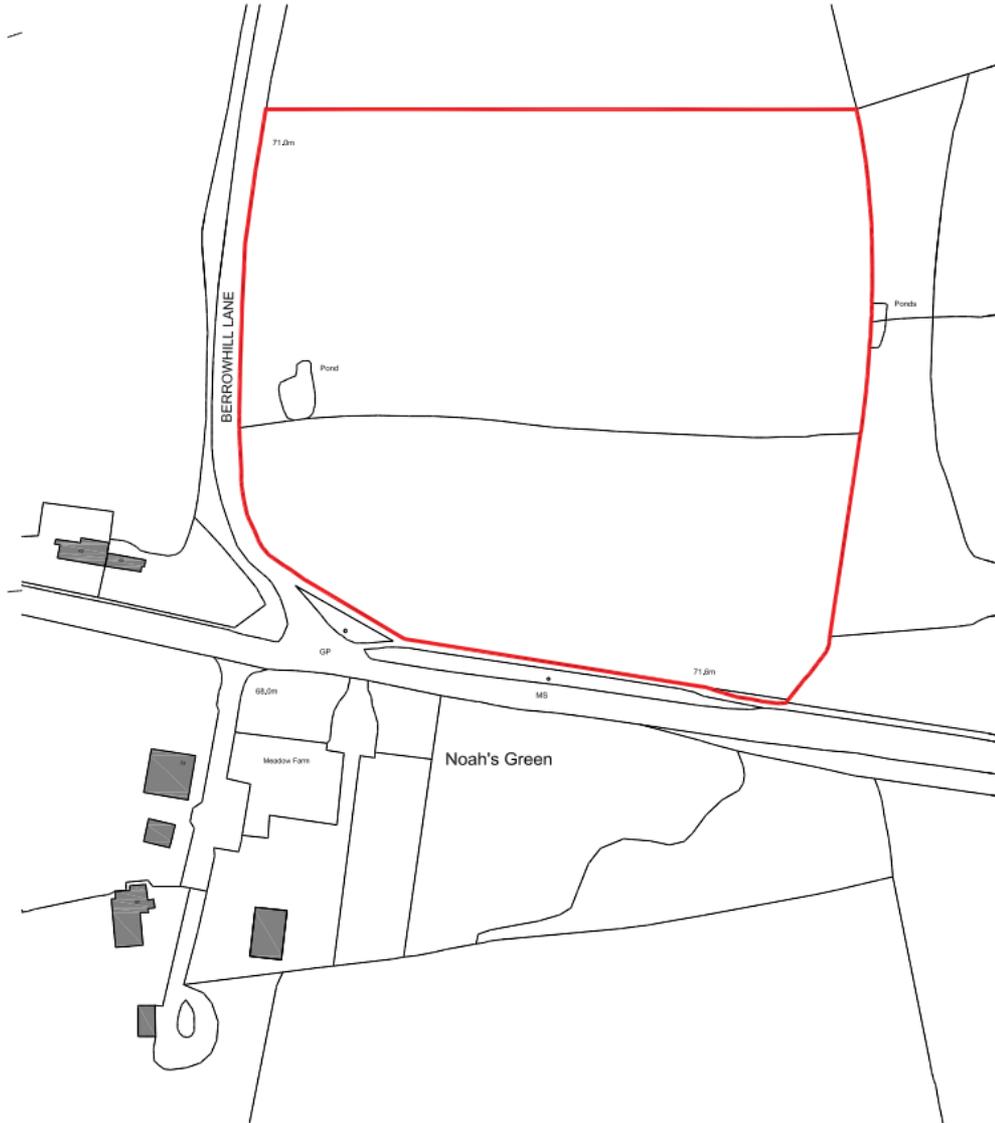
Land North of Droitwich Road, Droitwich Road,
Feckenham, Worcestershire

Change of use from agriculture to a mixed use of agriculture and the keeping of horses, erection of two stables, a hay store and retention of vehicular access and parking area.

Recommendation:

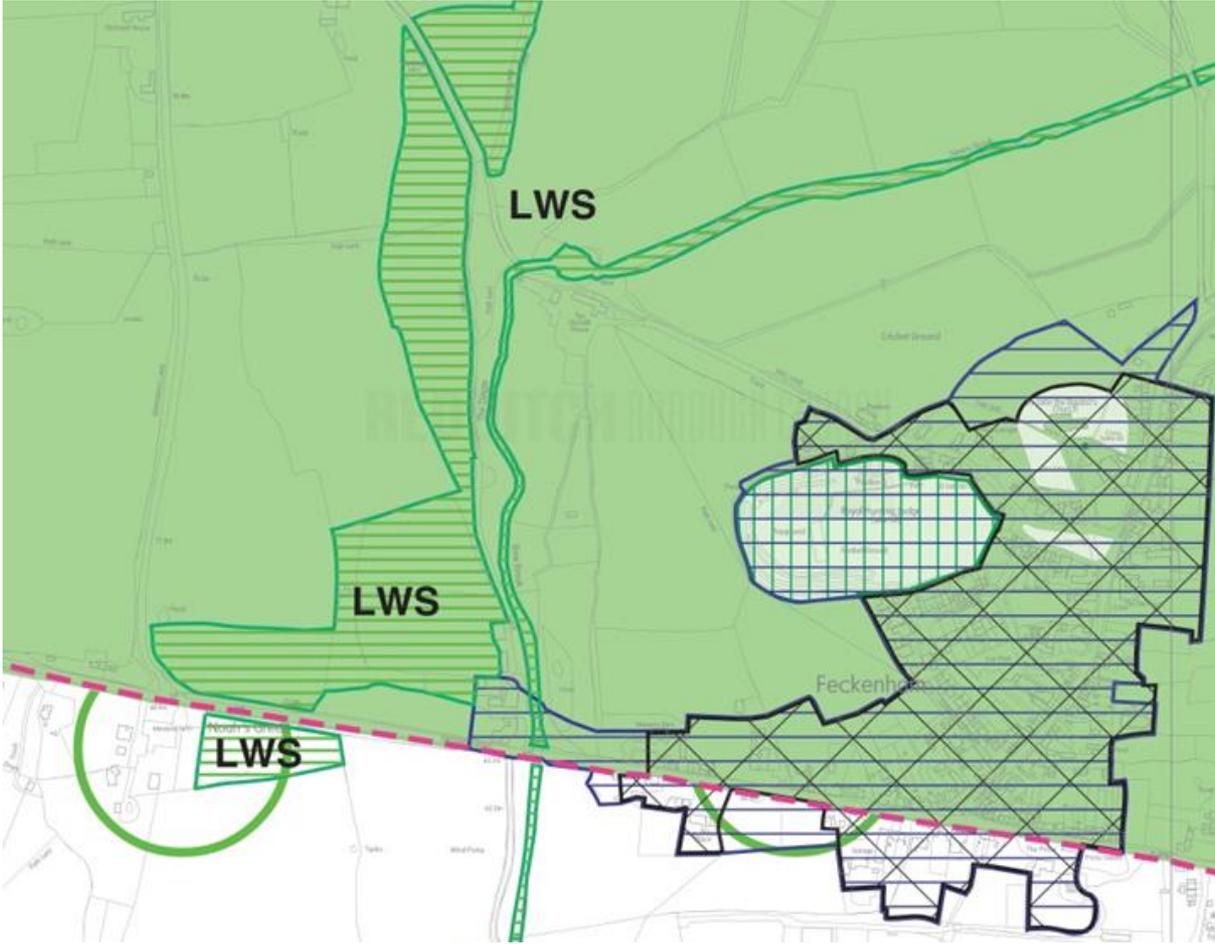
GRANT subject to conditions

Site Location



Site Location Plan
Scale 1:1250

Planning Policy Land Designation

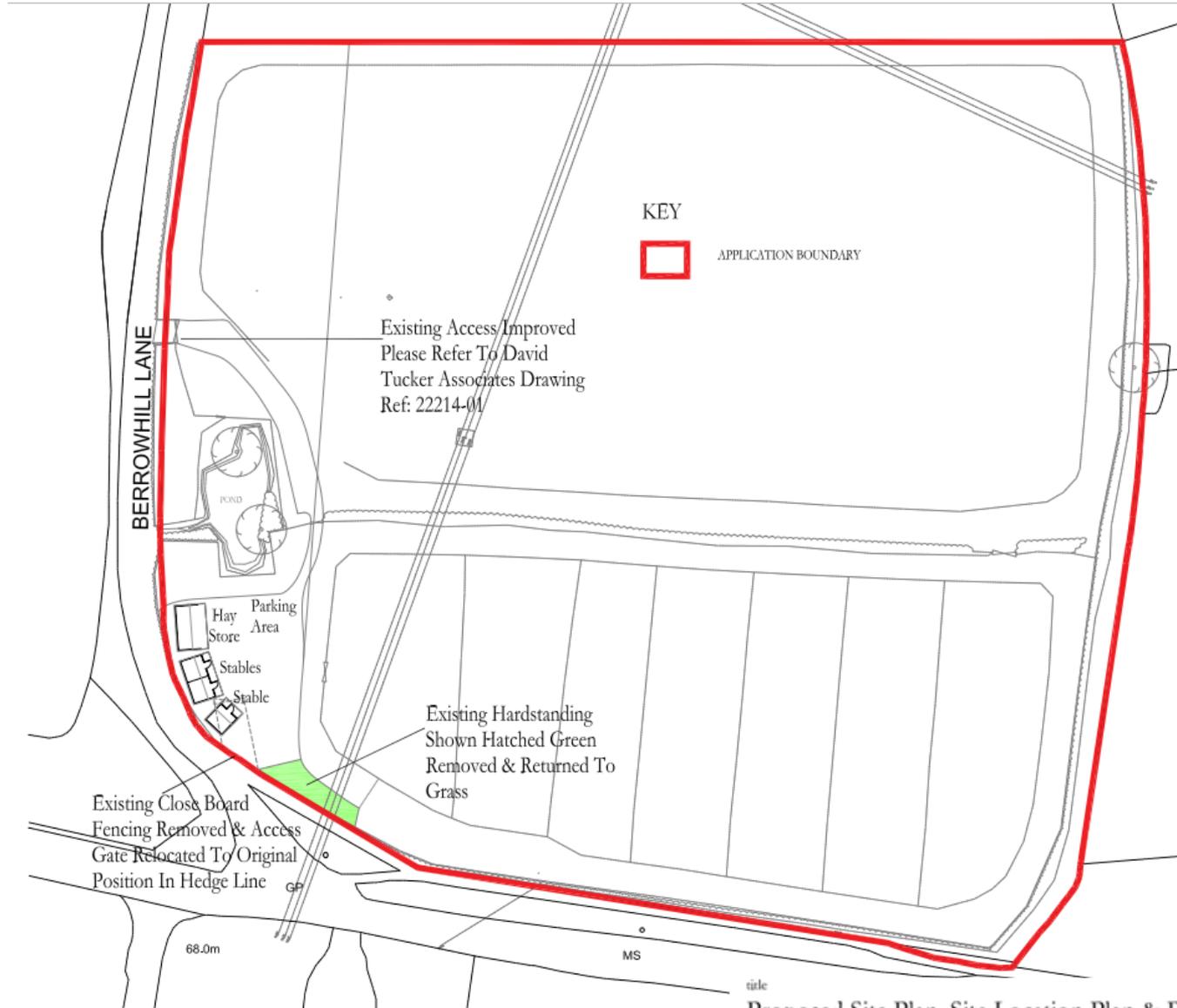


-  Village Settlement
(Policy 2 Settlement Hierarchy)
-  Green Belt
(Policy 8 Green Belt)
-  Open Countryside
(Policy 9 Open Countryside)
-  Designated Conservation Area (Policy 36 Historic Environment and Policy 38 Conservation Areas)
-  Scheduled Monuments
(Policy 36 Historic Environment and Policy 37 Historic Buildings and Structures)
-  LWS
(Policy 16 Natural Environment)

Aerial Photograph



Proposed Site Plan

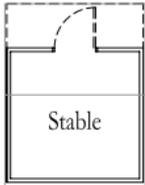
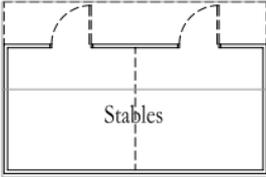
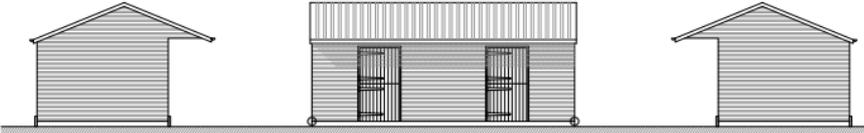
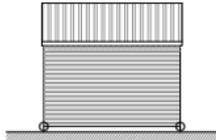


Proposed Site Plan
Scale 1:500

title
Proposed Site Plan, Site Location Plan & Proposed Plans & Elevations
SJD-237-004

rev	date	06.04.22
B	scale	1:500 @ A1
	drawn	SJD
	verified	-

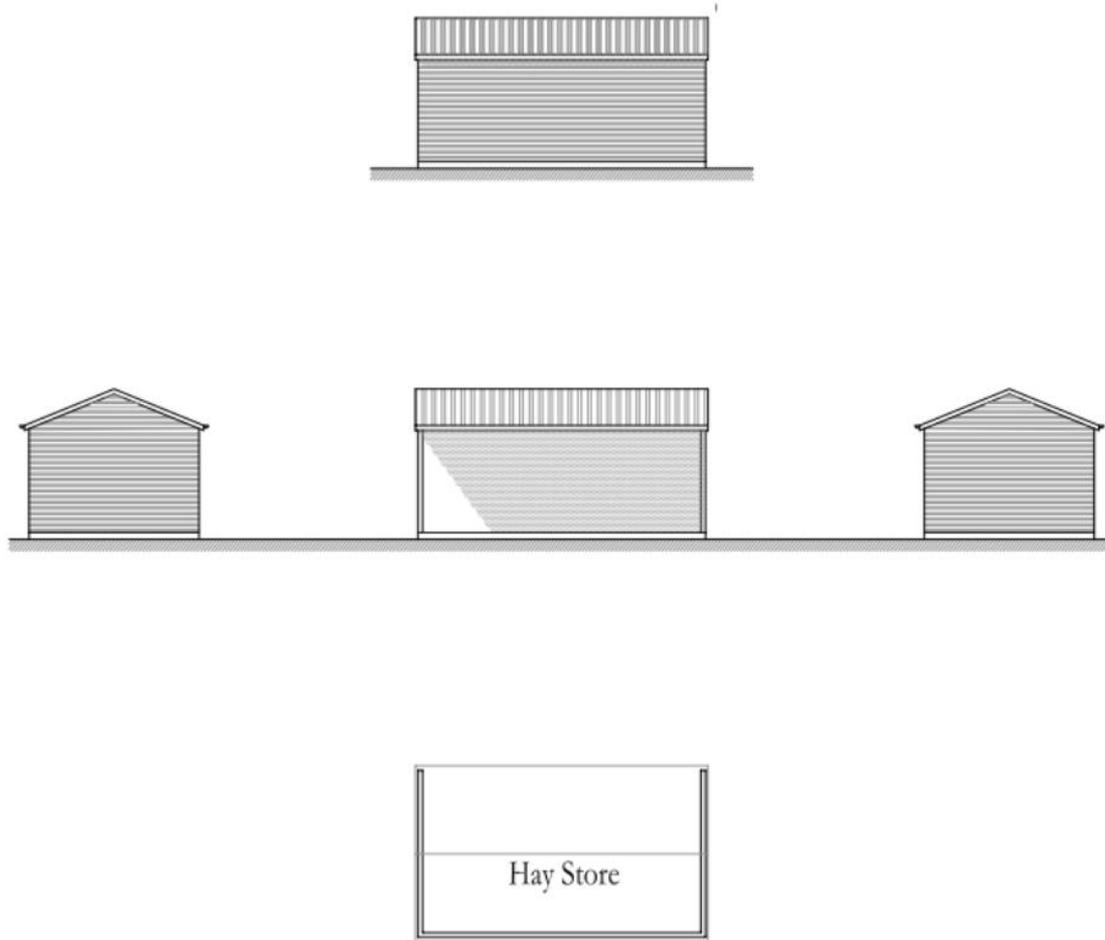
Stables



Proposed Double Mobile Stable Blocks - Plans & Elevations
Scale 1:100

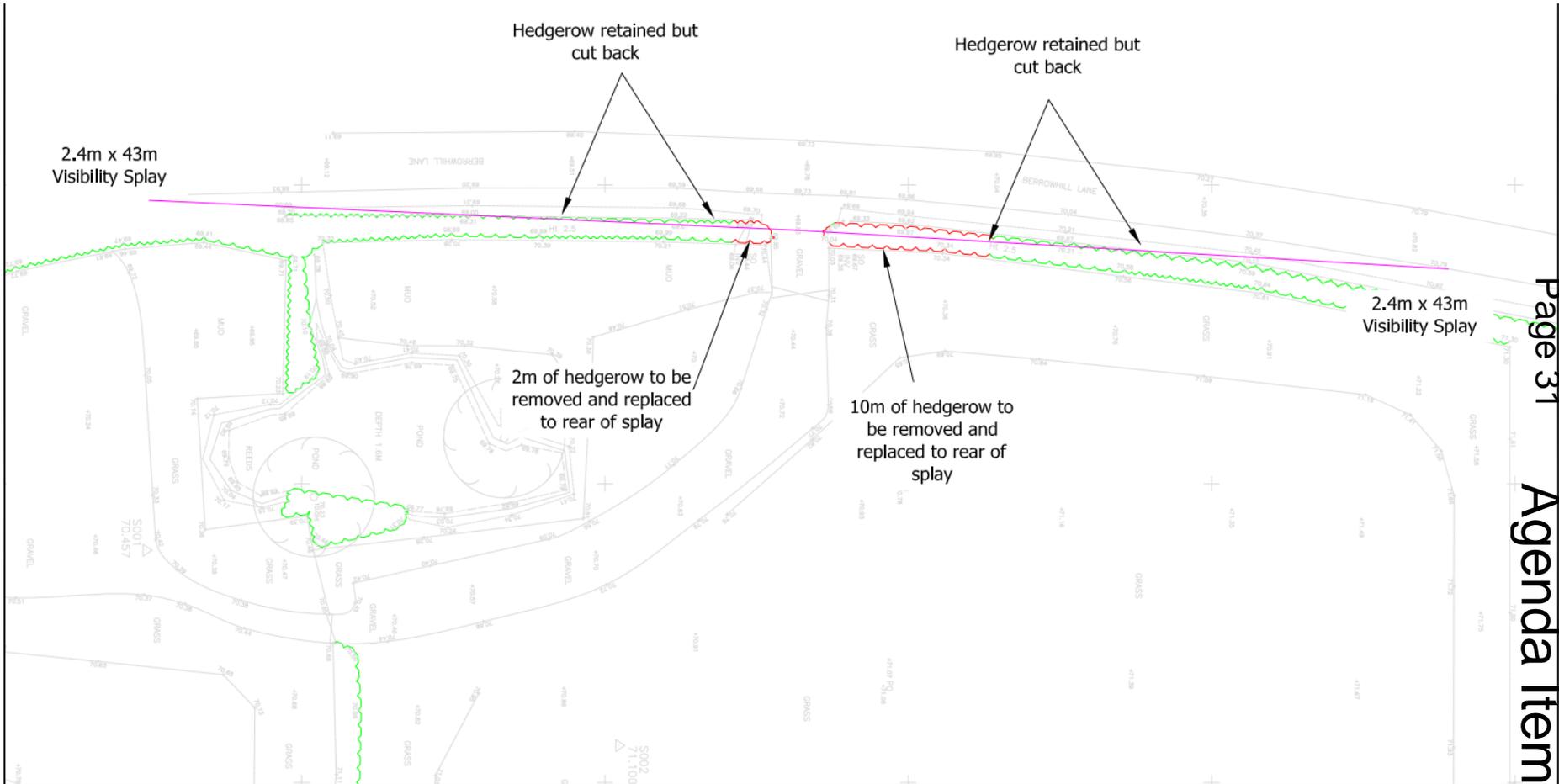
Proposed Single Mobile Stable - Plans & Elevations
Scale 1:100

Hay Store



Proposed Mobile Hay Store - Plans & Elevations
Scale 1:100

Visibility Splay and Hedgerow Loss



Based upon the ORDNANCE SURVEY MAPS with the permission of THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE
 © Crown Copyright Al 100030412
 © David Tucker Associates

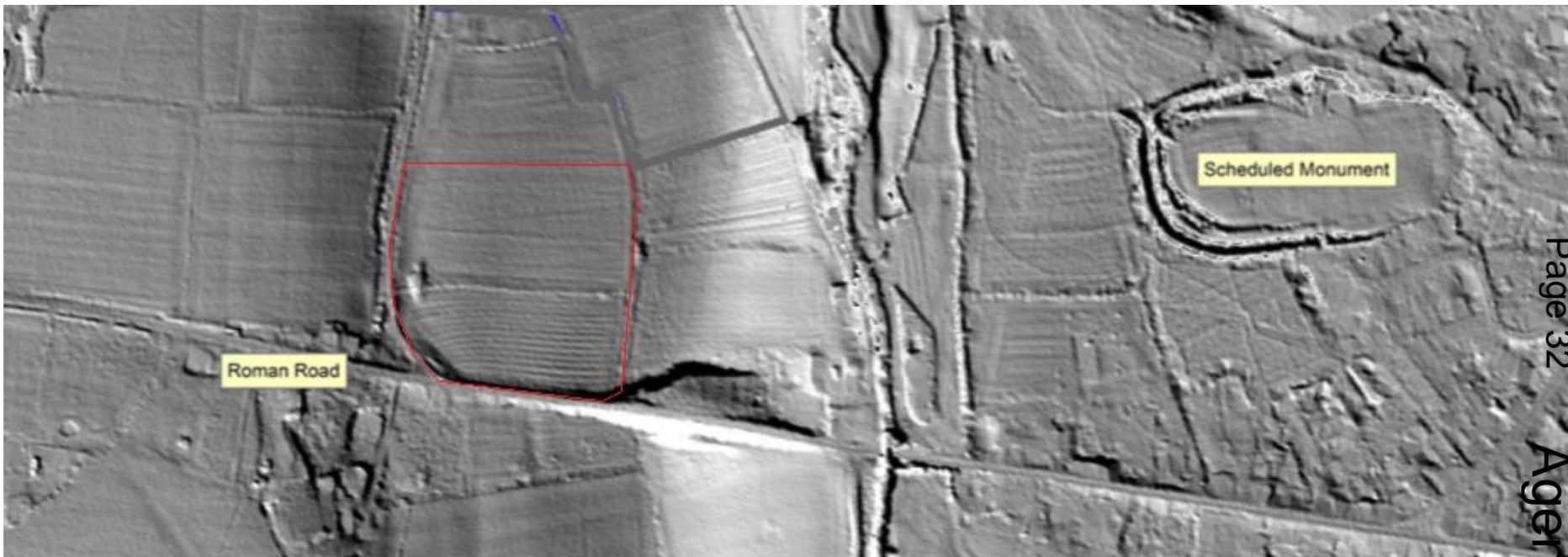
REV	DESCRIPTION	DRAWN	INITIALS	DATE



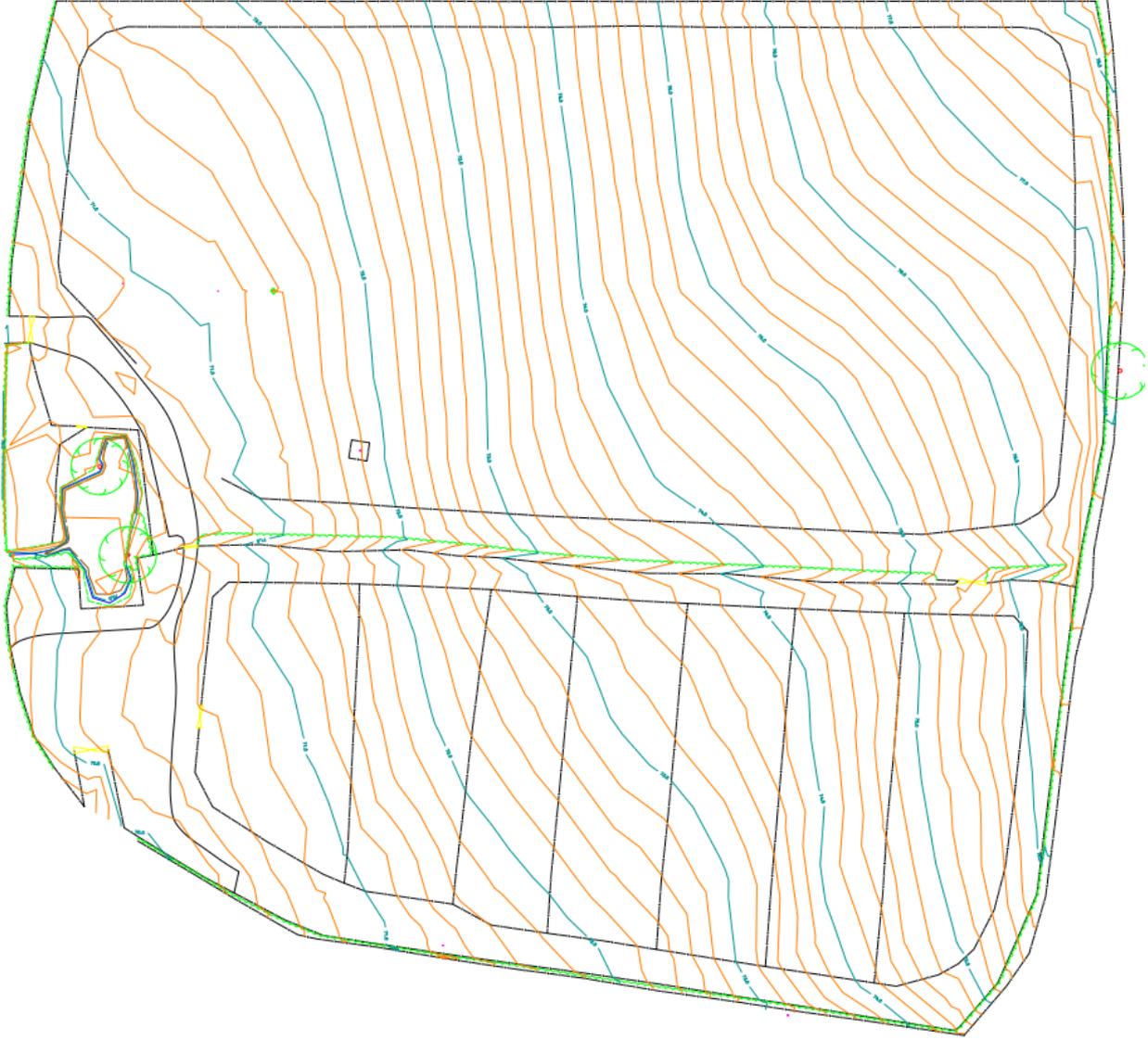
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 Tel: +44(0)1564 792808
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JOB TITLE	Berrowhill Lane, Feckenham	CUSTOMER	CT Planning
DRAWING TITLE	Visibility Splays and Hedgerow Loss		
SCALE	1:250 @ A3	DRAWN BY	ST
DATE	Jan 22	DRAWING NO.	22214-03
REVISION			

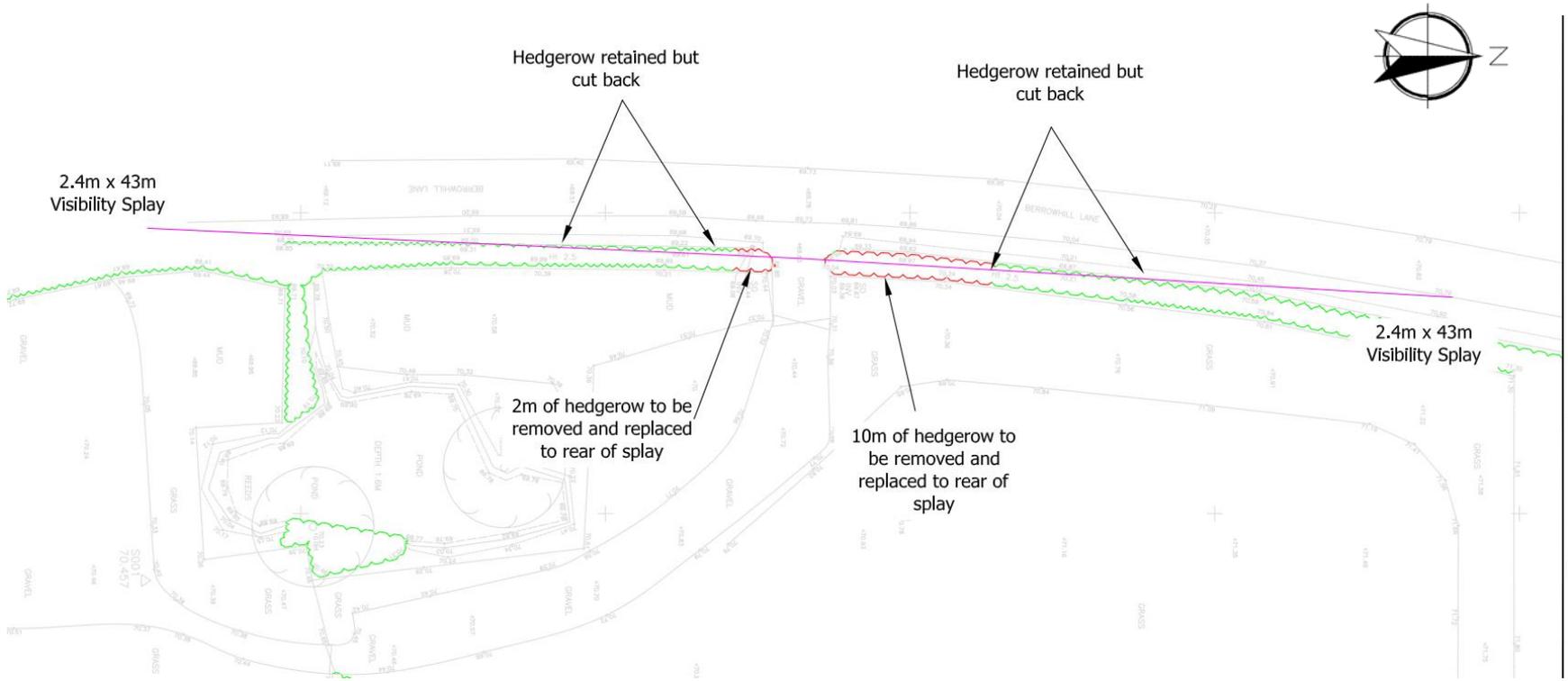
LIDAR SURVEY (2011)



Site Contours



Visibility Splays and Hedgerow Loss



Photos



Hardstanding created in south west corner of field



PI. 2 (top) Composite photograph showing the recently altered gateway into the southern field from Berrow Hill Lane. Looking east/north-east.

PI. 3 (middle) Composite view showing the area of recently stripped and surfaced ground by the entrance of the southern field (looking north).

PI. 4 (below) Composite view of the surviving ridge and furrow earthworks in Soapy Close, the southern field. Looking east.

View from Droitwich Road looking north in 2019 before development



View looking south along Berrowhill Lane in 2019 before development



Southern field looking east



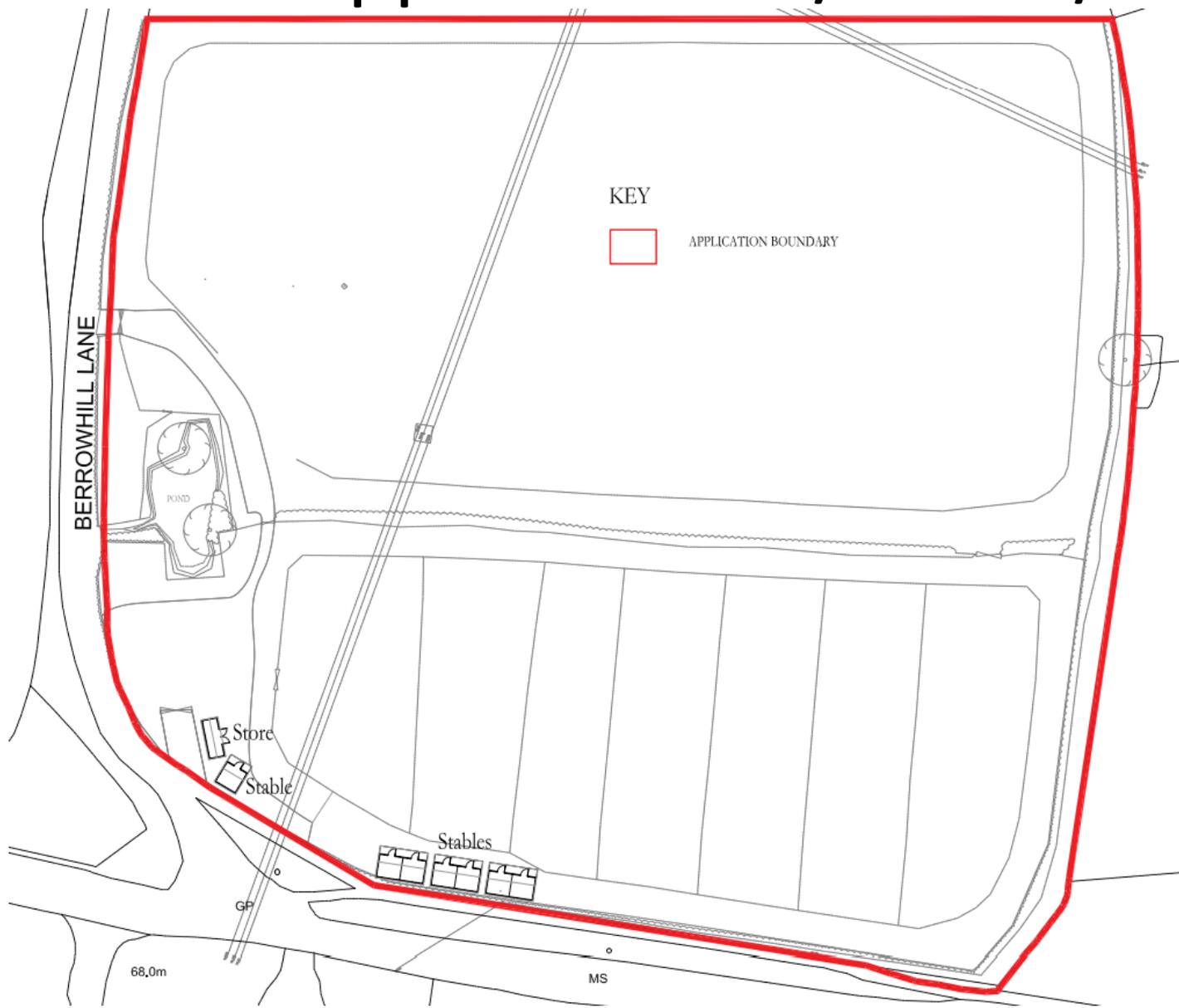
Northern field looking east



Northern Access looking west to Berrowhill Lane



Previous application 20/00194/FUL



Proposed



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22/01171/FUL

Greenlands Playing Fields Adjacent, South Sports
And Social Club, Throckmorton Road, Redditch,
Worcestershire, B98 7RS.

A Multi Use Games Area consisting of a steel
fence system and a tarmacadam base painted
sports line markings.

Recommendation: grant subject to conditions

Site Location



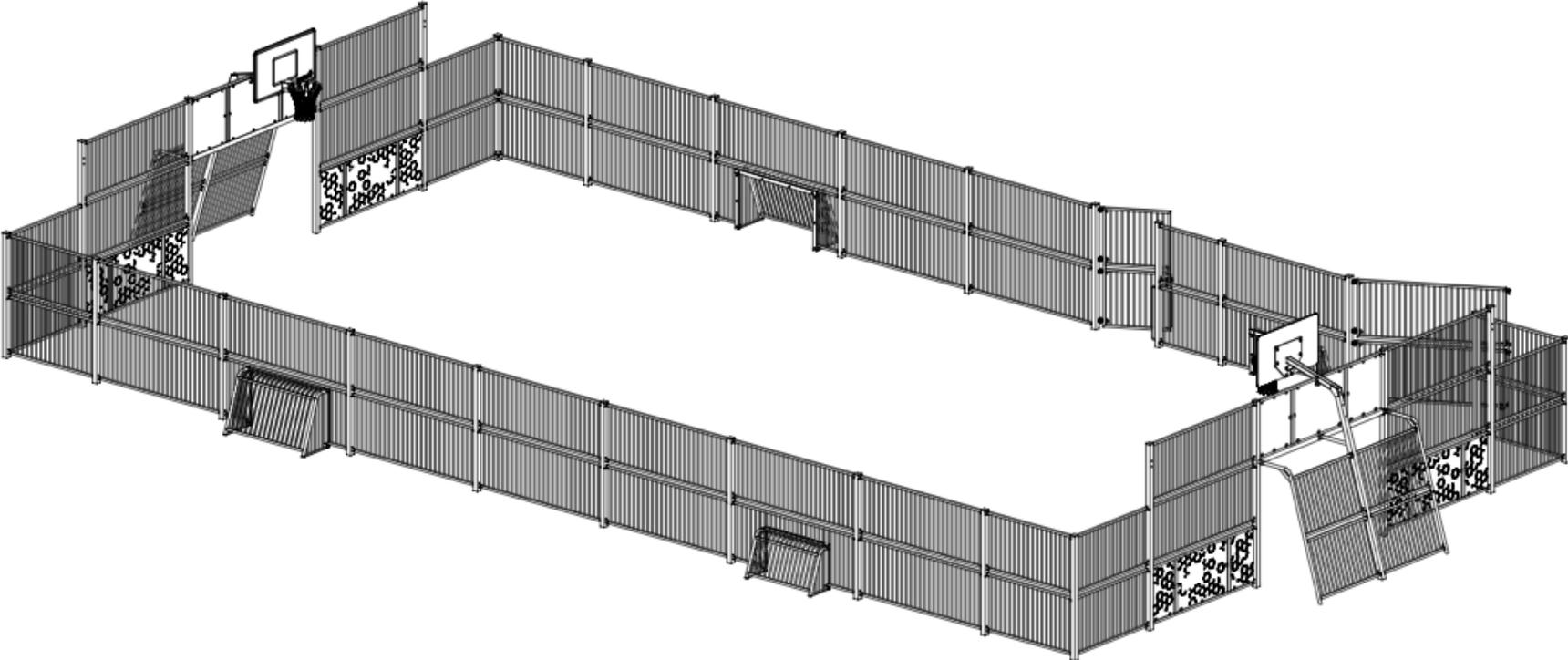
Satellite View



Plan View



Elevation Drawings



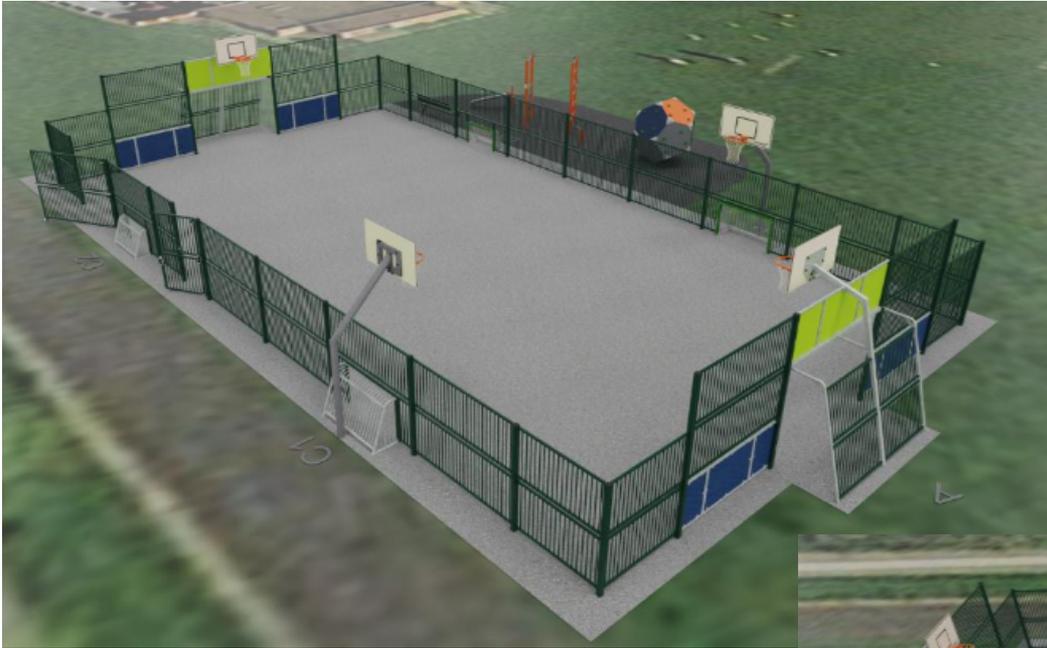
Policies Map Extract



Proposed Site Plan



Illustrative Views of MUGA



Illustrative Views of MUGA



Site Photos



Site Photos



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